

STERLING CAMPUS

3535, 3545 FACTORIA BLVD SE & 12600 SE 38TH ST
BELLEVUE, WASHINGTON



URBAN
AMENITIES

SUBURBAN
BENEFITS

A 278,000 square foot premier office campus at the
intersection of the Eastside's two major freeways



Prime location at the junction of I-90 & I-405 with excellent access to both freeways and prime visibility



Generous 3.5 stalls per 1,000 RSF of parking includes currently free covered & surface stalls



Top quality construction; attractive concrete & steel buildings with above standard electrical & cooling



Unmatched retail, restaurants, & hotels; over 1 million SF in immediate walking distance

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10500 NE 8th Street, Ste 900
 Bellevue, WA 98004
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The information contained herein has been given to us by the owner or sources that we deem reliable. We have no reason to doubt its accuracy, but we do not guarantee it. Prospective tenants should carefully verify all information contained herein.

AVAILABLE SPACE

BUILDING	FLOOR	SUITE	SQUARE FOOTAGE	AVAILABILITY DATE	LEASE RATE	DIVISIBILITY	COMMENTS
Sterling Plaza 1	2	220	2,402 RSF	Now	\$41.50/RSF, FS	N/A	Five private offices, reception area, large conference room, and kitchenette/break room.
Sterling Plaza 1	4	400	4,064 RSF	Now	\$41.50/RSF, FS	N/A	Direct access off the elevator lobby with an efficient open layout that can be configured for any desired layout
Sterling Plaza 1	6	610	3,845 RSF	Now	\$41.50/RSF, FS	N/A	Market ready space under construction with new double door entry, new ceiling tile, grid, lights, carpet and paint. Bright northwest corner, top floor space. Additional improvements easily added as tenant requires.
12600 Building	2	245	2,305 RSF	1/1/2021	\$39.00/RSF, FS	N/A	Four private offices, conference room, kitchenette and storage/server room.
12600 Building	2	210	823 RSF	Now	\$39.00/RSF, FS	N/A	Two private offices, reception area and open work area.
12600 Building	2	207	1,028 RSF	Now	\$39.00/RSF, FS	N/A	Three private offices and one conference room.
12600 Building	2	201	1,905 RSF	1/1/2021	\$39.00/RSF, FS	N/A	Four private offices, two storage closets, one conference room, kitchenette and reception area.



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Commercial Real Estate Services

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STERLING CAMPUS I

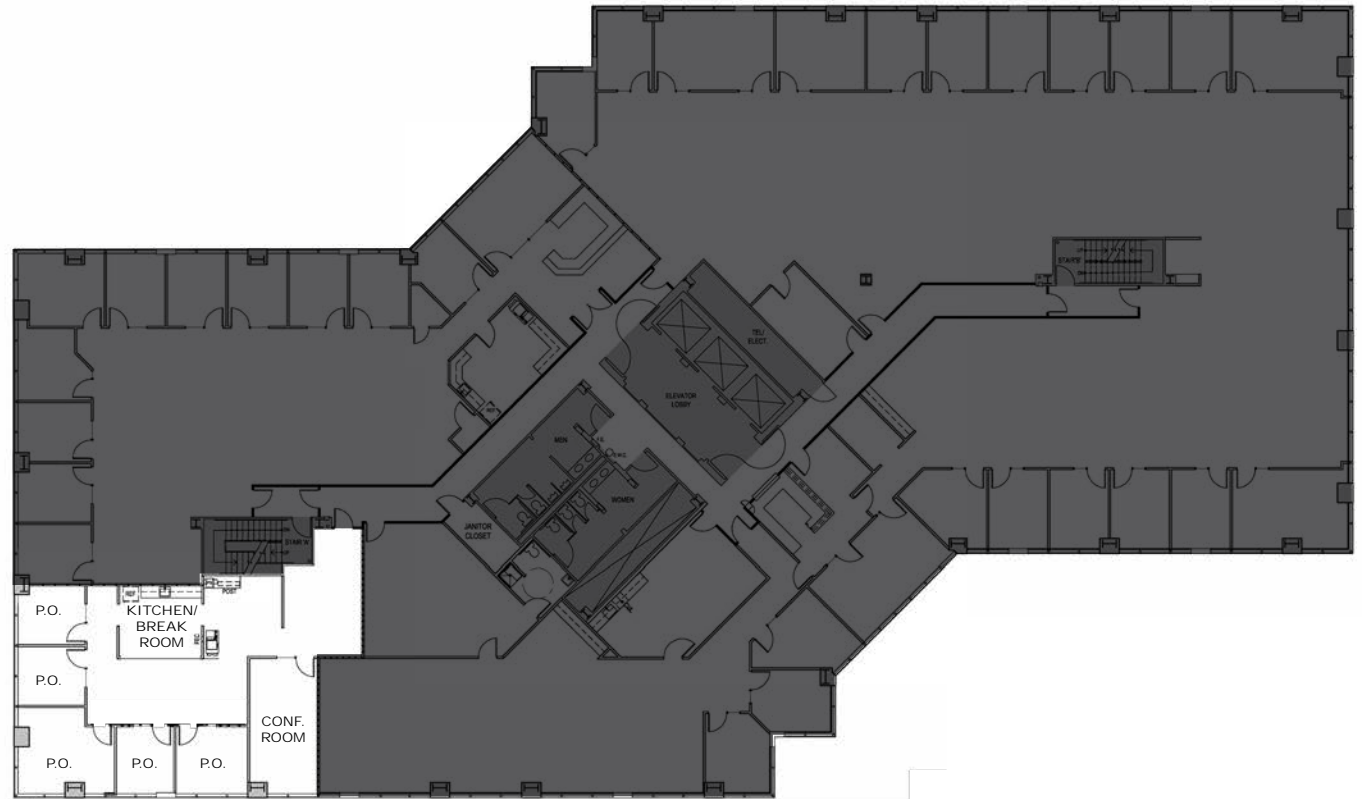
3535 FACTORIA BLVD SE
BELLEVUE, WASHINGTON

2,402 RSF

FLOOR 2

SUITE 220

- Available now
- 5 private offices
- Large conference room
- Reception area
- Kitchenette / break room





STERLING CAMPUS I

3535 FACTORIA BLVD SE
BELLEVUE, WASHINGTON

4,064 RSF

FLOOR 4

SUITE 400

- Available now
- Two meeting/conference rooms
- One private office
- Kitchenette
- Efficient open layout for cubicles
- Lease Rate: \$41.50/RSF, FS





STERLING CAMPUS I

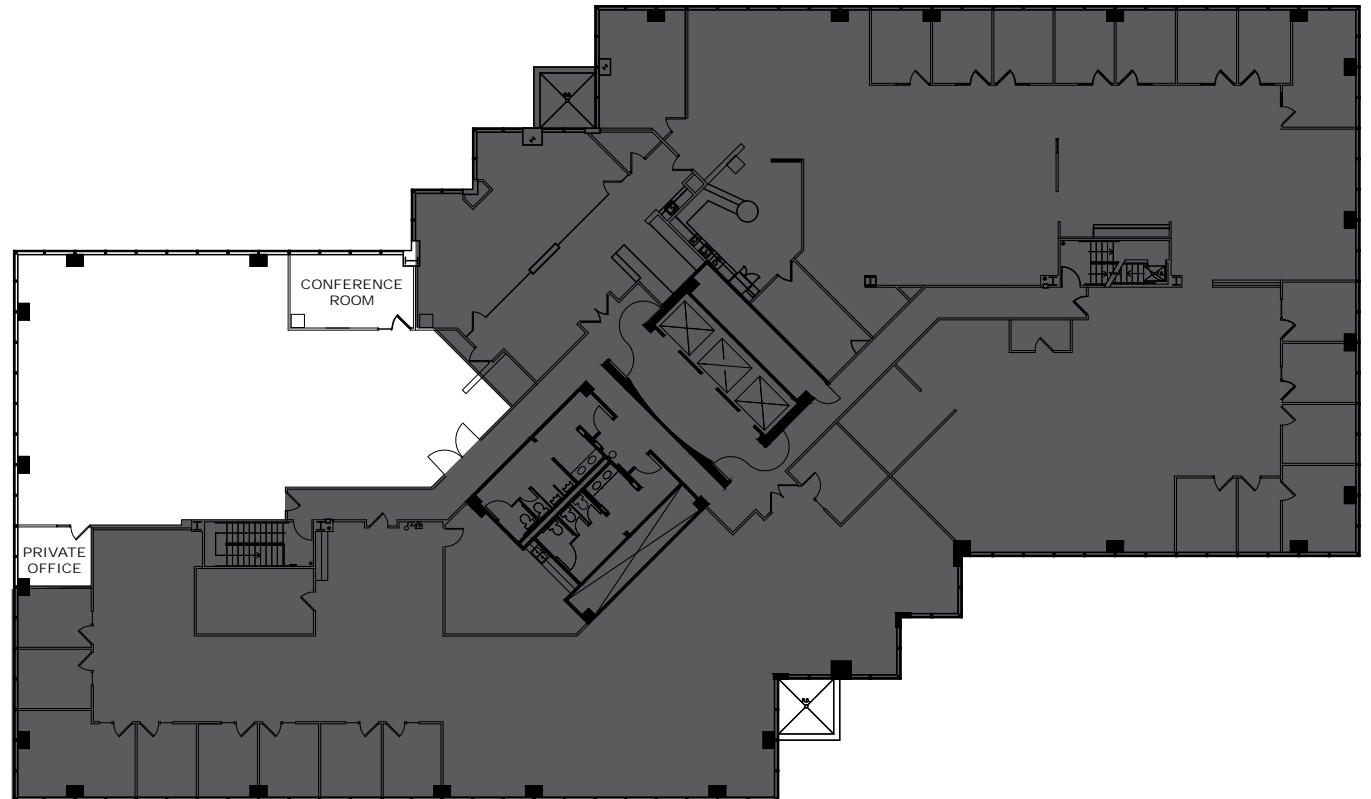
3535 FACTORIA BLVD SE
BELLEVUE, WASHINGTON

3,845 RSF

FLOOR 6

SUITE 610

- Available now
- Top floor - northwest corner
- Market ready space under construction, with new ceiling grid, tile, lights, and carpet
- Open space with windowed conference room, and private office, additional improvements can be added
- Lease Rate: \$41.50/RSF, FS





12600 BUILDING

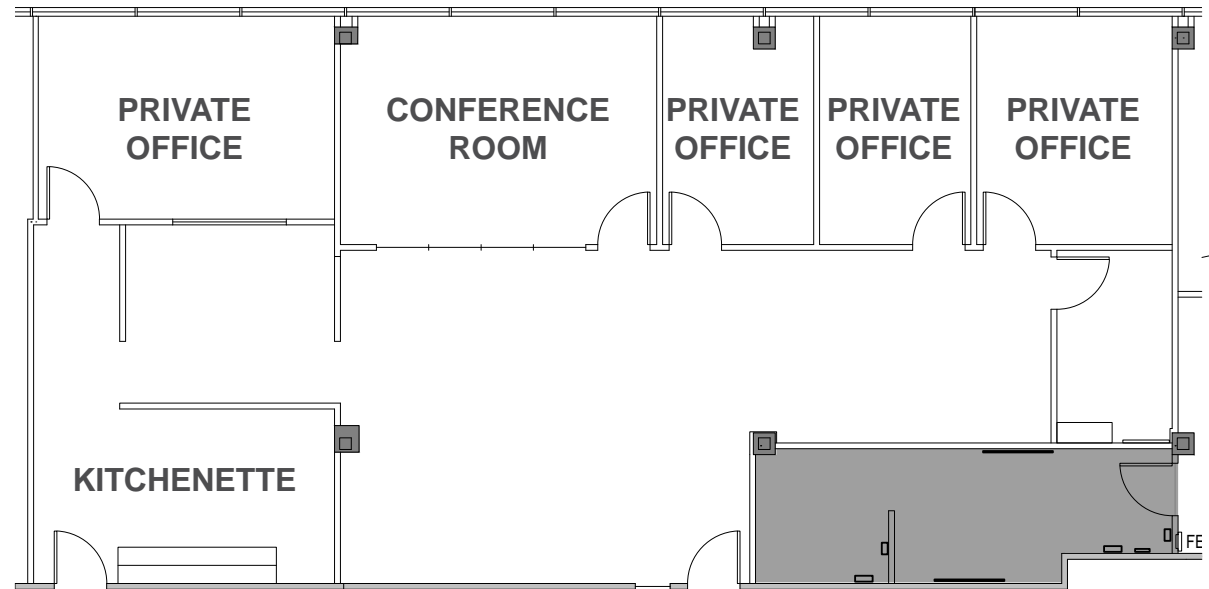
12600 SE 38TH ST
BELLEVUE, WASHINGTON

2,305 RSF

FLOOR 2

SUITE 245

- Available 1/1/2021
- Four private offices
- Conference room
- Kitchenette
- Storage/server room
- Lease Rate: \$39.00/RSF, FS





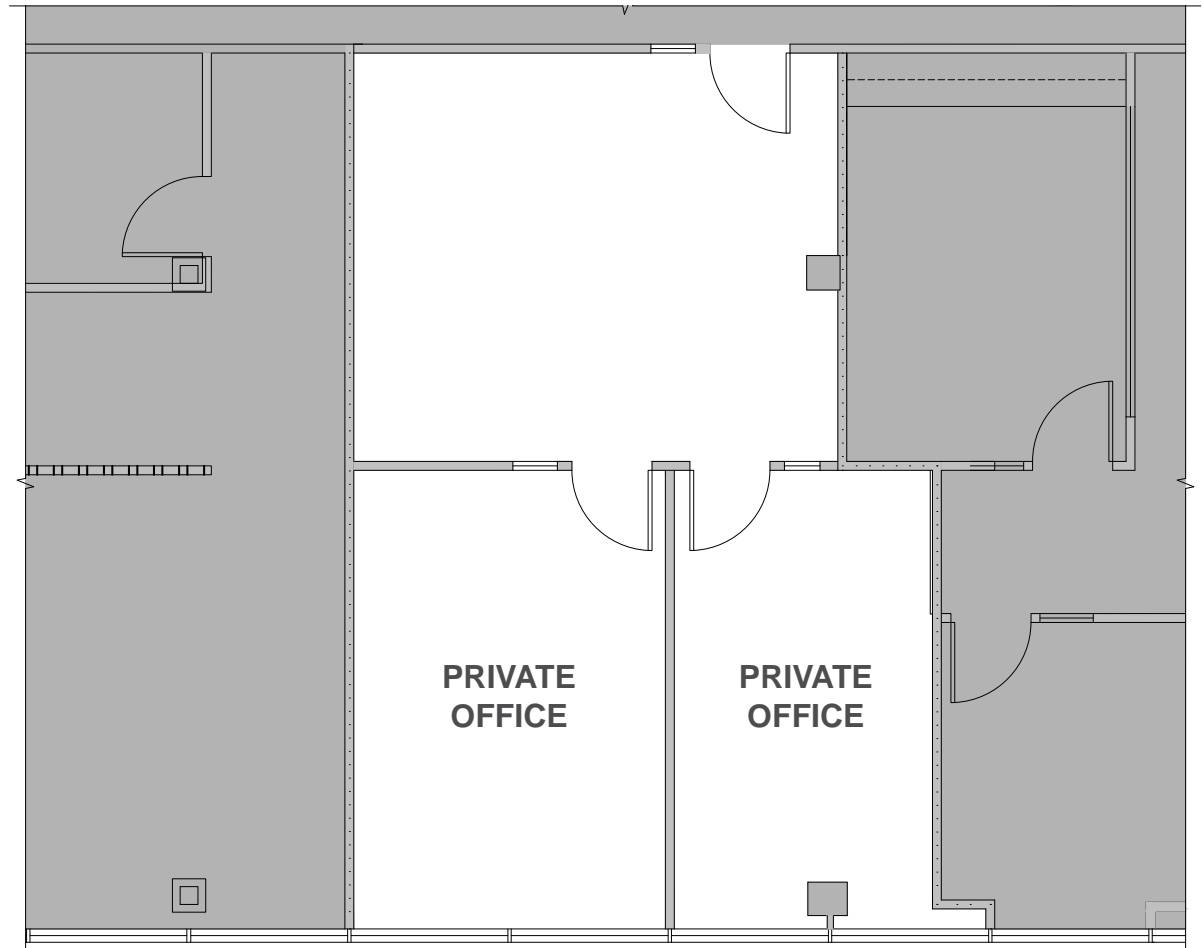
12600 BUILDING

12600 SE 38TH ST
BELLEVUE, WASHINGTON

823 RSF

FLOOR 2 SUITE 210

- Available now
- Two private offices
- Reception area
- Open work area
- Lease Rate: \$39.00/RSF, FS





12600 BUILDING

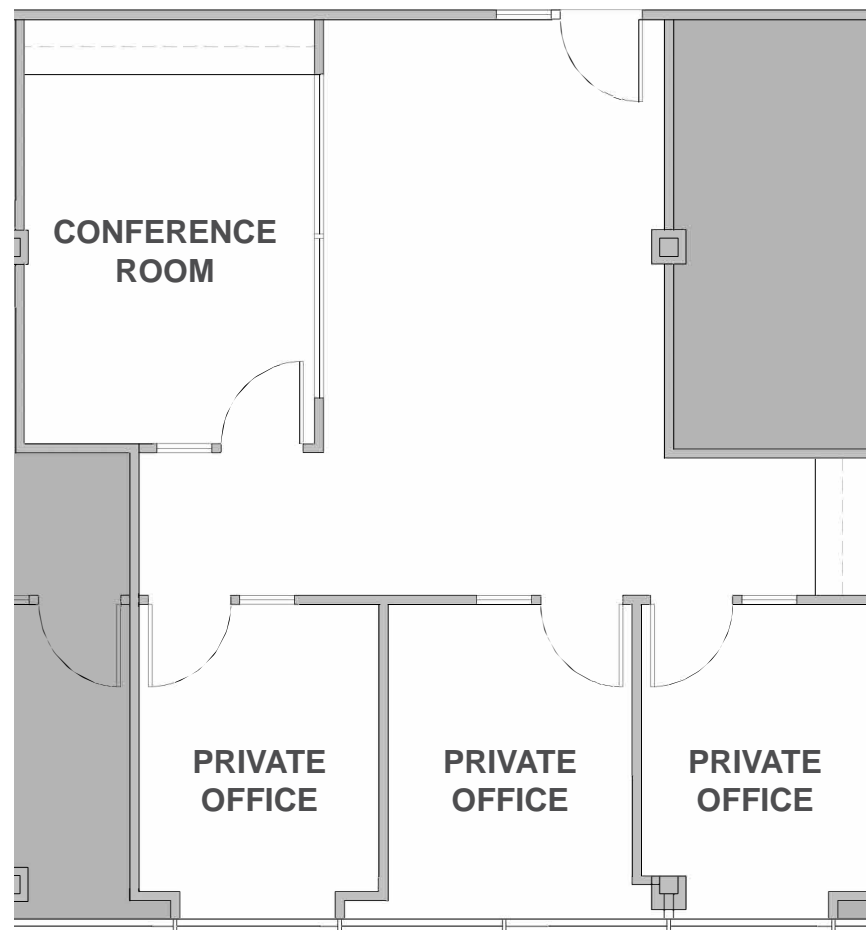
12600 SE 38TH ST
BELLEVUE, WASHINGTON

1,028 RSF

FLOOR 2

SUITE 207

- Available now
- Three private offices
- One conference room
- Reception area
- Lease Rate: \$39.00/RSF, FS





12600 BUILDING

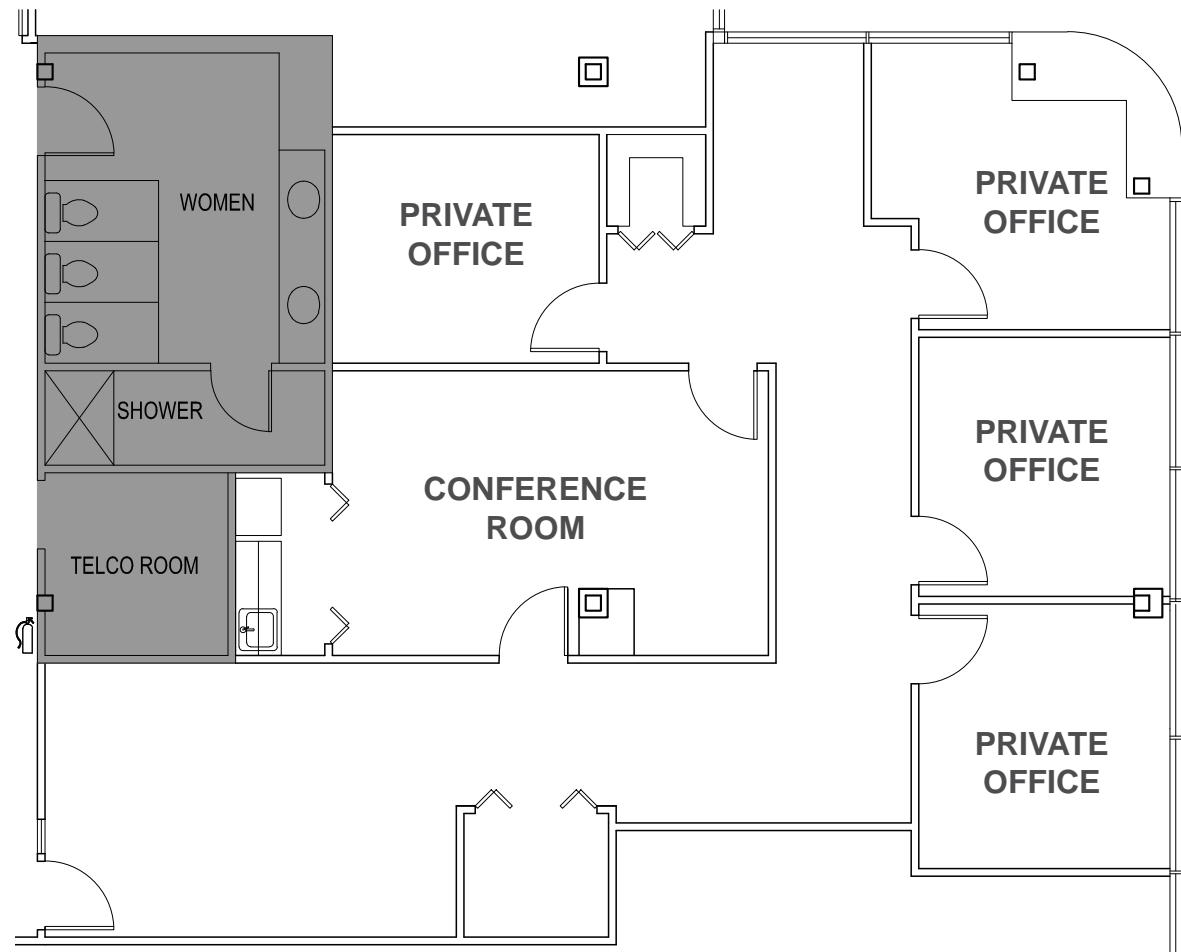
12600 SE 38TH ST
BELLEVUE, WASHINGTON

1,905 RSF

FLOOR 2

SUITE 201

- Available January 1, 2021
- Four private offices
- Two storage closets
- One conference room
- Kitchenette
- Reception area
- Lease Rate: \$39.00/RSF, FS





Load Factors:

SP1: 17.65% multi-tenant load. Single tenant on a floor by floor basis.

SP2: Varies per floor from approximately 12.9% – 13.4% single tenant load or 19% multi-tenant load.

Parking:

3.5/1,000 RSF (**SP1:** Including approximately 0.5/1,000 covered) (**SP2:** Including approximately 1.75/1,000 RSF covered stalls). Current garage rate for covered stalls is \$50.00 per stall plus tax.

Nearby Restaurants/Retail:

Over one million square feet of retail in immediate walking distance, including over 20 restaurants, numerous coffee, banks & a hotel. [Click here to view amenity map.](#)

Management/Ownership:

Locally owned and managed by Sterling Realty Organization.

Exercise/Weights/Cardio Room:

Brand new exercise facility, showers and lockers in for permit to be constructed on the first floor of SP1.

Power:

SP2: 18 watts per square foot (excessive power to accommodate high tech use).

Fiber Optic Capability:

Fiber optic capability provided by CenturyLink and Comcast to SP1 and SP2.

HVAC System:

SP2: Building HVAC system features VAV system with floor-by-floor air conditioning units located in a rooftop penthouse. Each floor's HVAC system can be isolated and run independent of the rest of the building. Series fan powered VAV boxes with electric heaters provide zone control.

VAV zone density averages one (1) zone per 700 square feet of office space.

HVAC system is sized for 3.3 watts/SF of miscellaneous tenant equipment cooling load. An additional 1.3 watts/SF is available to handle cooling for the lighting loads. HVAC system is fully built out on each floor for an open office concept throughout, including all ducting, VAV boxes, supply air and return air grilles and space temperature controls.

Building automation system is an electronic energy management system as manufactured by Alerton. It is capable of multiple occupancy schedules, off hour overrides and off-site monitoring and alarming. Provisions are included for spot cooling of tenant equipment. Forty-five (45) tons of spare capacity is available in the building's core condenser system that can serve a single floor or be distributed throughout all floors.

Fire Protection System:

SP1 & SP2: The buildings are fully sprinklered with a light hazard wet system (12600 is not sprinklered).

SP2: All sprinkler heads are quick response type.

Elevators:

SP1 & SP2: Three (3) elevators direct from parking structure to all office floors.

Commute Times:

Five (5) minutes to downtown Bellevue, ten (10) minutes to Seattle, seventeen (17) minutes to Sea-Tac Airport.

Contact:

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|----|---|
| 1 | Tokyo Japanese |
| 2 | Applebee's |
| 3 | Square Lotus |
| 4 | QFC; QFC Pharmacy |
| 5 | Great Harvest Bread Co. |
| 6 | Bartell Drugs |
| 7 | Sacks Gourmet Sandwiches / Kung-Ho Chinese |
| 8 | Tasty Thai / BECU / T-Mobile |
| 9 | Starbucks / Musashi's / Subway / Sideline Sports Bar |
| 10 | Chevron / Brown Bear Car Wash |
| 11 | Seabell Bakery / Jimmy John's / Tofu 101 / Peking Wok |
| 12 | The Saigon Cafe & Deli / Ooba Tooba |
| 13 | Boulangerie Bakery & Cafe / I Love Pho / Verizon |
| 14 | Taco Time |
| 15 | Toshi's Teriyaki |
| 16 | McDonald's |
| 17 | Key Bank |
| 18 | Ricardo's Mexican Restaurant |
| 19 | Big 5 |
| 20 | Burger King |
| 21 | Chase Bank |
| 22 | Bank of America |
| 23 | Factoria Mall Dining |
| | Factoria Mall Retail / Services |
| | Boba T |
| | Bath & Body Works |
| | Cold Stone Creamery |
| | DSW |
| | Dim Sum Factory |
| | Factoria Shoe Repair |
| | Genki Sushi |
| | Famous Footwear |
| | Goldbergs' Famous Deli |
| | inSpa |
| | Gophers |
| | MasterCuts |
| | Greek Express |
| | Nordstrom Rack |
| | Jamba Juice |
| | Old Navy |
| | Old Country Buffet |
| | Pearle Vision |
| | Panda Express |
| | RadioShack |
| | Panera Bread |
| | Target |
| | Pizza Roma |
| | TJ Maxx |
| | Red Robin |
| | Ulta Beauty |
| | Safeway |
| | Wal-Mart |
| 24 | KFC |
| 25 | Novilhos Brazilian Steak House |
| 26 | Top Gun Seafood Restaurant |
| 27 | Cafe Cubano |
| 28 | Shanghai Cafe / Katsu Burger / Thai Ginger |
| 29 | Taco Bell |
| 30 | Romio's Pizza |
| 31 | AMC Loews Factoria Cinema |